

CASAGRAN  
Cloud







## SOUTH INDIA'S LEADING REAL ESTATE DEVELOPER

We are Casagrand Builder Private Limited, an ISO certified real estate enterprise committed to building aspirations and delivering value. Established in 2004, we have developed over 36 million square feet of prime residential real estate across Chennai, Bengaluru and Coimbatore. Over 27,000 happy families across 140+ landmark properties stand testimony to our commitment, which is in line with our philosophy of creating superior living spaces that reflect our belief.

In the 18th year of our journey, we are all set to progress further with projects worth over RS.8000 crores in the pipeline with lasting value, integrity and quality.

# ELEVATION NIGHT VIEW



# CASAGRAND Cloud9

Welcome to the plush life! Sprawling over 4.87 acres in Sholinganallur is Casagrand Cloud9, a one-of-a-kind luxurious living destination! Each home is designed to delight and promises an extraordinary way of life. These Homes are the pinnacle of world-class luxury living, with every modern comfort and convenience imaginable. Discover Casagrand Cloud9 and live a high life!

## SALIENT FEATURES

- Luxuriously crafted 331 pinnacle apartments on sprawling 4.87 acres in Sholinganallur
- Contemporary-styled 2,3 & 4 BHK apts and 4 BHK floor villas built on B+S+ 19 floors structure
- Floor villa units have an exclusive jacuzzi on the balcony
- Community offers 70+ world-class amenities like a barbeque zone, outdoor gym, pets park, swimming pool with floor water jets, reflexology walkway & more
- 16400 sqft grand clubhouse loaded with amenities and features
- 65% open space with lush greenery for abundant space & ventilation
- A sprawling 26,500 sqft centralized landscaped podium
- The most premium specification for a luxurious lifestyle
- The community offers CCTV surveillance and 24\*7 security
- 100% Vaastu-compliant homes with zero dead space design

# ENTRANCE VIEW



A glowing golden ring with a decorative flourish on a dark blue background. The ring is composed of two concentric circles, with the space between them filled with a gradient of blue. A golden line enters from the bottom left, loops around the ring, and exits at the top right, ending in a small flourish.

AMENITIES

## INDOOR AMENITIES

1. DOUBLE HEIGHT LOUNGE
2. CONVENIENCE STORE
3. CAFE
4. PARTY HALL WITH PANTRY
5. DANCE FLOOR
6. AV ROOM
7. INDOOR PLAY AREA
8. BOARD GAMES CORNER
9. GAMING ZONE
10. GYM
11. CROSSFIT CORNER
12. INTERACTIVE FLOOR
13. MEDITATION ROOM
14. YOGA CORNER
15. DAY CARE CENTER
16. KIDS PLAY AREA
17. KIDS LIBRARY
18. LEARNING CENTRE
19. ADVENTURE ROCK CLIMBING
20. KIDS PLAYPEN
21. KIDS SOFT PLAY
22. BALL PIT
23. INTERACTIVE WALL GAME
24. ASSOCIATION ROOM
25. CO-WORKING SPACE
26. MEETING ROOM
27. JACCUZI
28. STEAM
29. IRONING / LAUNDRY
30. SERVANT DORMITORY

### WORKOUT

13. MEDITATION ROOM
14. YOGA CORNER
15. DAY CARE CENTER
16. KIDS PLAY AREA
17. KIDS LIBRARY
18. LEARNING CENTRE

## TERRACE AMENITIES

31. TERRACE PARTY LAWN
32. SENSORY PLAY AREA
33. GOLF PUTTING
34. ROOFTOP VIEWING DECK
35. ROOFTOP LOUNGE SEATING
36. ARRIVAL PLAZA



## OUTDOOR AMENITIES

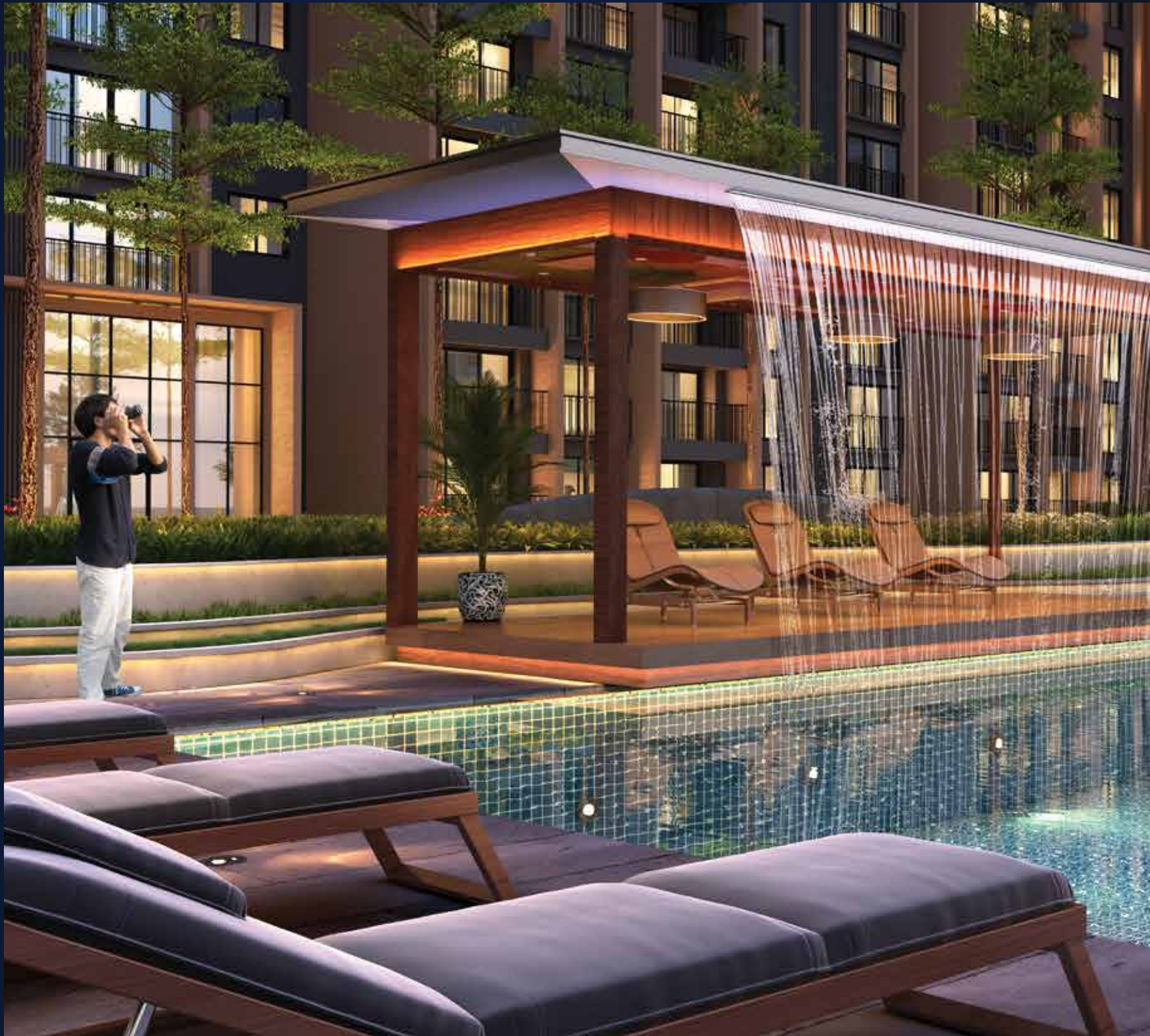
37. PARTY LAWN
38. AMPHITHEATRE
39. OUTDOOR MOVIE SCREENING
40. OUTDOOR FAN
41. MULTIPURPOSE SPORTS COURT
42. SPORTS VIEWING GALLERY
43. 500M RACE TRACK
44. MINI SOCCER
45. MEDITATION LAWN
46. OUTDOOR GYM
47. CHILDREN'S PLAY AREA
48. JUNGLE GYM
49. TOT LOT
50. PLAY MOUND
51. JOGGING TRACK
52. SENIOR CITIZENS ZONE
53. BARBEQUECORNER
54. HAMMOCK ZONE
55. NANNY'S PAVILION
56. ROCK CLIMBING WALL
57. SANDPIT

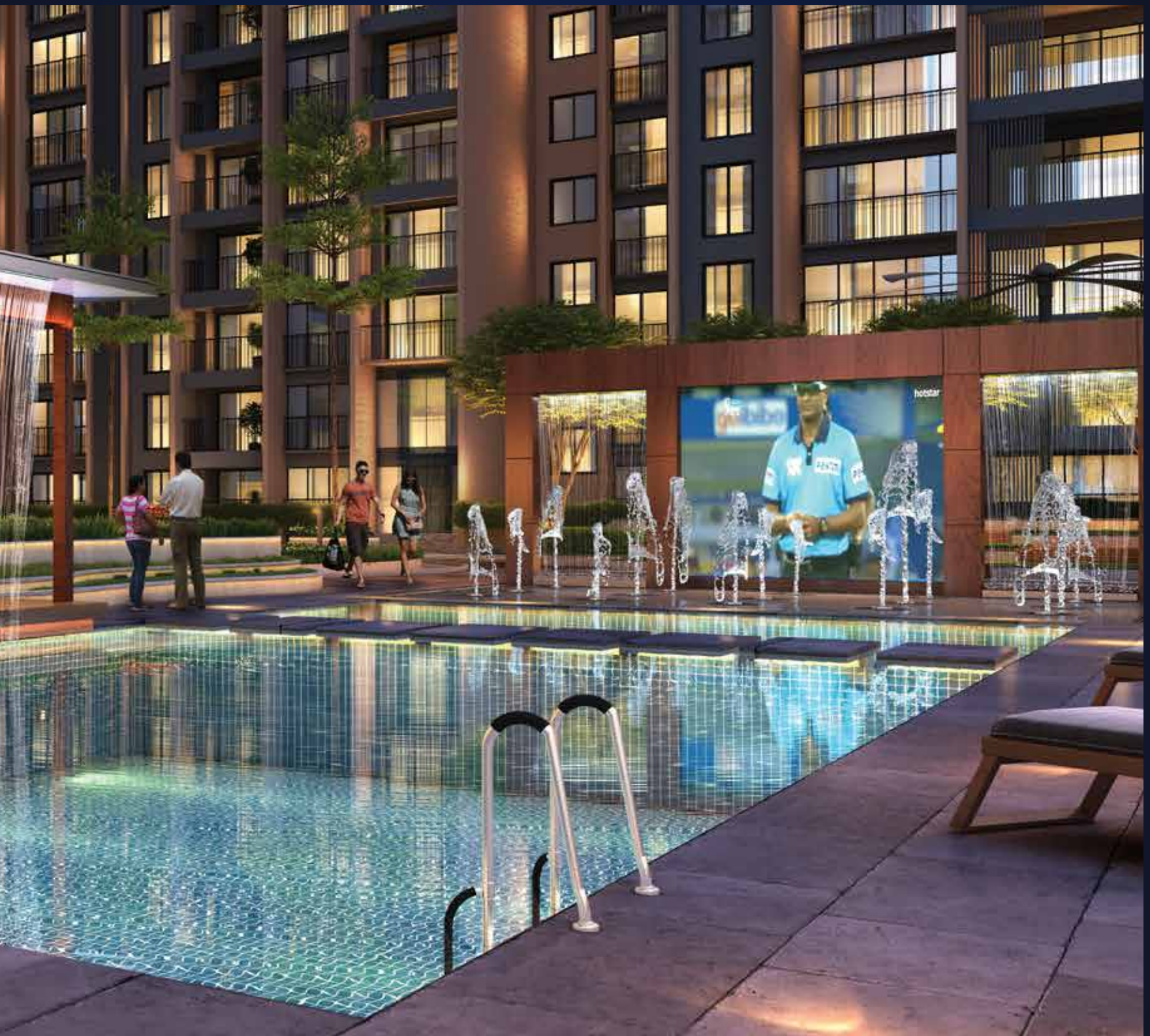
58. REFLEXOLOGY PATHWAY
59. PET PARK
60. LEISURE SEATING
61. FLOOR GAMES
62. DIY GARDEN
63. CAR CHARGING BAY
64. AIR FILLING STATION
65. CAR WASH BAY
66. BICYCLE RACKS

## SWIMMING POOL AMENITIES

67. SWIMMING POOL
68. KID'S POOL
69. WATER ARCHWAY
70. FLOOR WATER JETS
71. WATER CURTAIN
72. POOLSIDE LOUNGES

# SWIMMING POOL DUSK VIEW



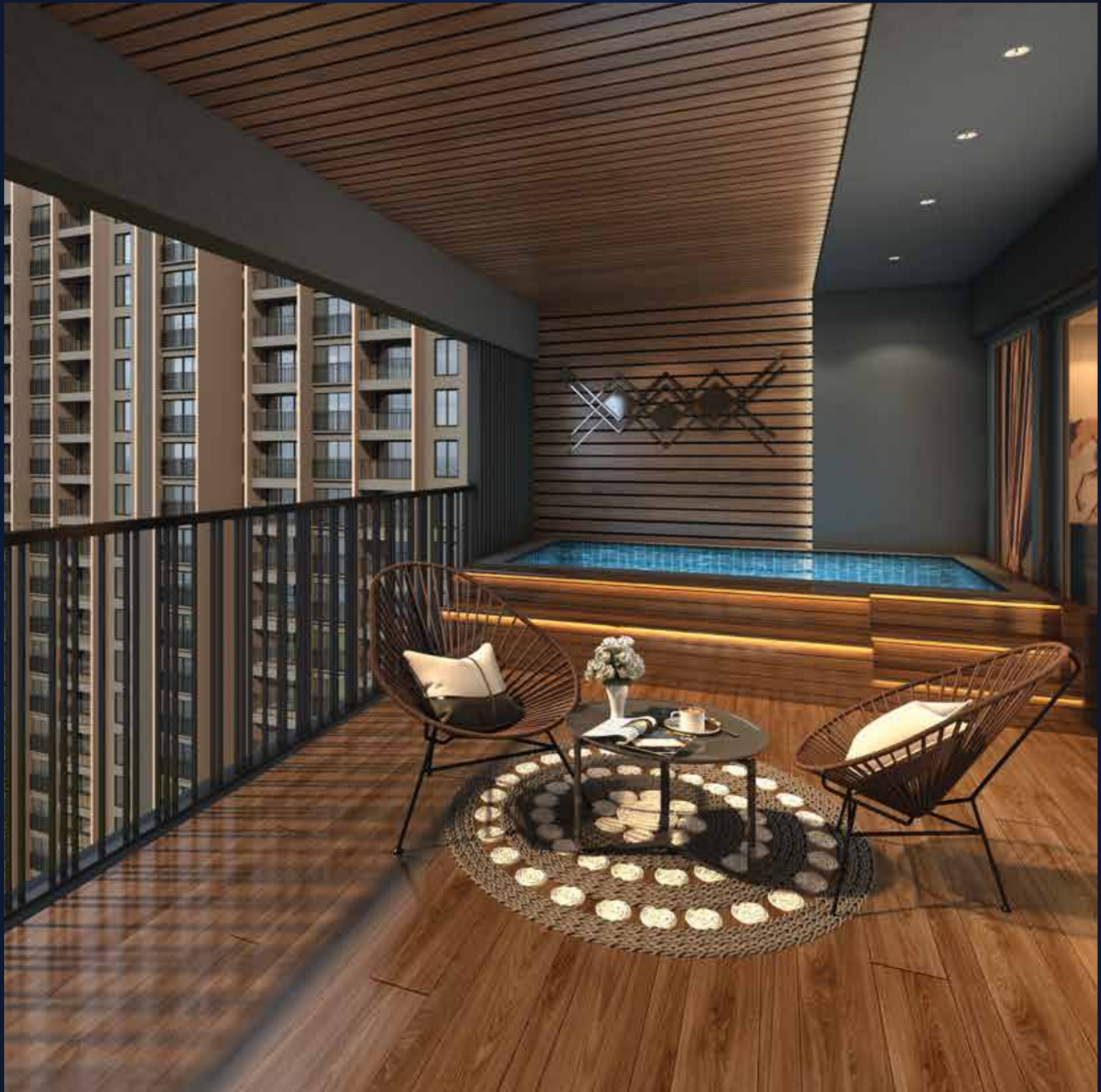


# MULTIPURPOSE COURT





## BALCONY VIEW



A glowing golden ring with a ribbon-like trail on a dark blue background. The ring is composed of two concentric circles, with the space between them filled with a gradient of blue. A golden ribbon-like line starts from the left, loops around the bottom and right sides of the ring, and ends on the right side. The text "PRODUCT SUPERIORITY" is centered within the ring.

PRODUCT  
SUPERIORITY

## THE BEST OF PRODUCT SUPERIORITY

- Casagrand Cloud9 gifts you the most unparalleled luxury at Shollinganallur
- Finely crafted 331 apartments spread across 4.87 acres
- Exclusive floor villa homes apart from the usual homes offers ultra luxury living
- 65% of the open space adds to the efficiency of the building footprint
- Light, ventilation, vastu, privacy & aesthetics are the 5 important pillars in planning the master & unit plans
- The community has a grand open podium with the lush green belt of 26,500 sq. ft.

## PRESENTING YOU A COMMUNITY WITH THE BEST OF ARCHITECTURE & FINESSE

- A grand entry arch with feature wall enhanced with lighting and landscape pockets with water fountain and focal sculptures
- Avenue trees on both sides of the arrival road give a pleasant and welcoming arrival to the community
- Contemporary elevation with dynamic lighting uplift the building exteriors and landscape creating interest in the community

- Meticulously planned vehicle-free podium elevated from the ground floor, easing the accessibility and usage of the outdoor amenities
- Building orientation ensures maximum wind flow and minimum heat gain
- An elaborate clubhouse of 16400 sq. ft area furnished with indoor amenities
- Aesthetic double-height lobbies are provided as a premium welcoming feature within the community
- Controlled entry and exit in the community facilitated with CCTV surveillance at pivotal points ensures 24x7 security

## OFFERING YOU 70+ AMENITIES

- The community has unique kids' friendly amenities like rock climbing wall, kids play area, sports court, bicycle tracks which instill social interaction among the kids
- The site encompasses a vast area of landscaping with trees in multiple pockets to provide shade and seaters besides along with self-gardening within a community
- The amenities like reflexology walkway, senior citizen seating and nanny's pavilion are planned for the elderly people



- The podium encompasses a multi-purpose party lawn, seating nooks, barbeque zone, amphitheatre and buffer planting
- Outdoor fitness amenities like outdoor gym, walking / jogging track, yoga deck, multi-purpose sports court encourages residents of all age groups for a healthy life
- Pets park is a dedicated space for your pets giving the community the comfort of being pet friendly
- The swimming pool is facilitated with kids pool, poolside lounge, water archway, floor water jets and many more features
- Dedicated car wash, charging bay and air filling station facility is provided
- Meticulously planned flow of circulation with stilt and basement parking and driveways offers hassle-free bicycle & pedestrian tracks around the site
- Laundry, ironing facilities, convenience store and lumber rooms are provided for daily convenience
- Rooftop seating is provided at the terrace giving a leisure seating experience at the apex

## INDULGE IN MOST FINEST CLUBHOUSE

- A grand double height club entry lobby with a waiting lounge facility

- Cafeteria with peaceful ambience to relax your evenings
- The clubhouse spaces are facilitated with multi-purpose party hall, interactive gym, yoga, indoor kids play, creche, video games room, kids playpen, interactive wall games, etc
- Snooker, table tennis, foosball & arcade games and board games in indoor games area are provided for teens & young adults
- The clubhouse delivers luxurious amenities like sauna & jacuzzi to relax in
- Rooftop party lawn, rooftop viewing deck and sensory kids play are provided to make the experience better at clubhouse terrace

## EFFICIENCY IN SPACE PLANNING

- All homes have foyer to ensure privacy Uninterrupted visual connectivity as all bedrooms & balconies will be facing the podiums or exterior
- Kitchen with double side counters and dedicated washing machine space are provided in all units
- Two balconies i.e. one in the living and one in the bedroom are provided in the 3 & 4 BHK units

- All the 3 & 4 BHK units have walk-in wardrobes in one of the bedrooms
- Cutouts with convenient AC ODU spaces are planned for services and ventilation

## KNOW WHY OUR APARTMENTS ARE SUPERIOR

- Grand main door of veneer finish with desinger architrave is facilitated with a digital door lock system
- Italian marble flooring in the living area
- Cloth drying provision in the balcony for convenience and an uninterrupted view
- Premium range of American Standard or Kohler fittings in the bathrooms and the kitchen
- Luxurious master bathrooms are fitted with a granite countertop washbasin, shower panel with hand shower, glass partition & designer drain in the shower area
- Superior quality multi feature pullout tap is provided in kitchen for easy cleaning and use
- Exclusive opulence floor villas are provided with jacuzzi in the balcony and the luxurious master bathrooms are fitted with bathtub, granite countertop washbasin, shower panel with handshower and shower cubicle

## VAASTU COMPLIANT

- Most units have North or East facing entry doors
- All apartments have kitchens placed in SE and NW
- All apartments have SW bedrooms
- No apartments have toilets in NE
- No units have bed headboard in the North





SITE PLAN  
&  
FLOOR PLANS

# SITE PLAN

## SITE CUM GROUND FLOOR PLAN





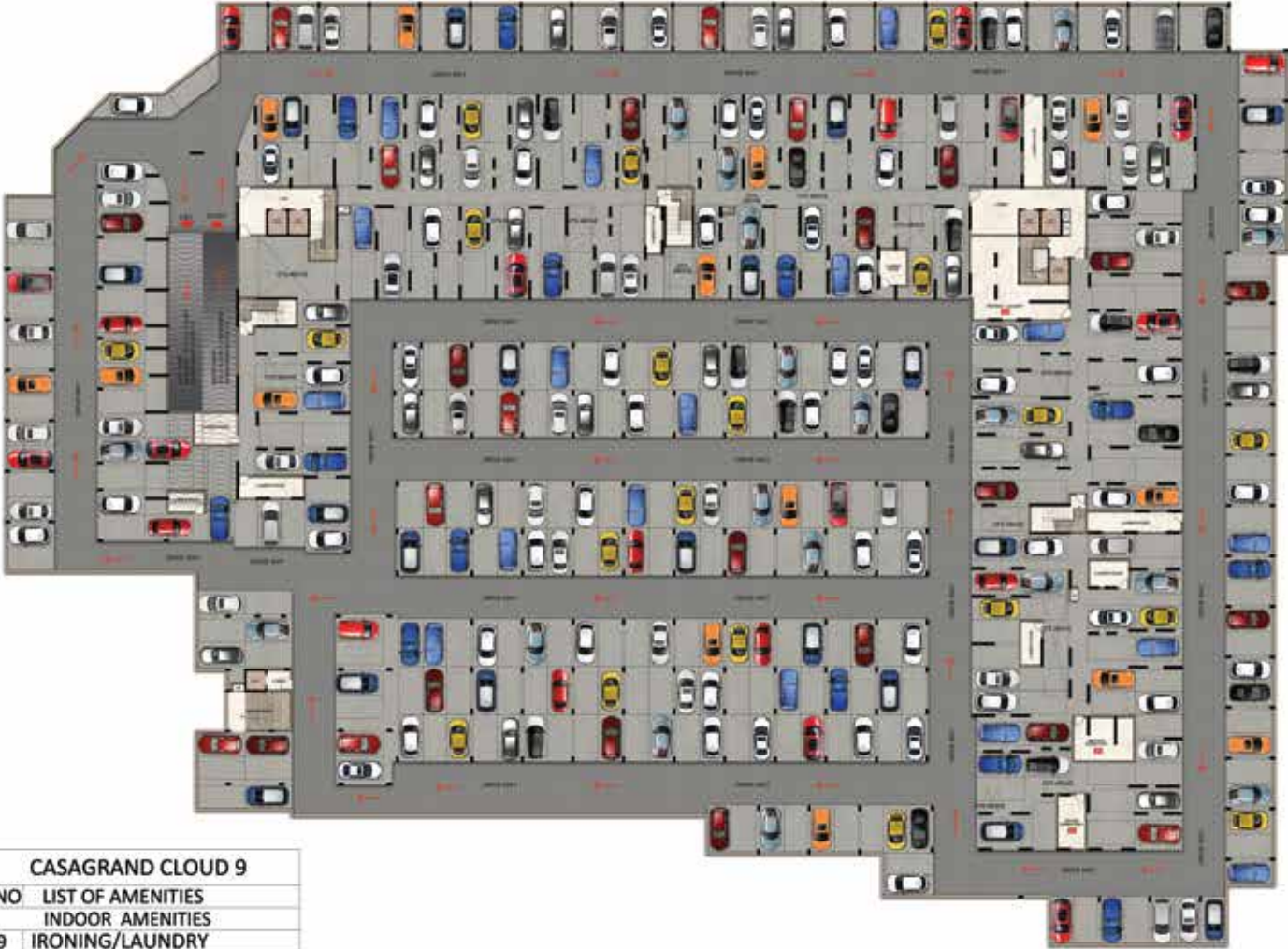
CASAGRAND CLOUD 9	
SL NO	LIST OF AMENITIES
	INDOOR AMENITIES
1	DOUBLE HEIGHT LOUNGE
2	CONVENIENCE STORE
3	CAFE
4	PARTY HALL WITH PANTRY
5	DANCE FLOOR
6	AV ROOM
7	INDOOR PLAY AREA
8	BOARD GAMES CORNER
9	GAMING ZONE
10	GYM
11	CROSSFIT CORNER
12	INTERACTIVE FLOOR WORKOUT
13	MEDITATION ROOM
14	YOGA CORNER
15	DAY CARE CENTER
16	KIDS PLAY AREA
17	KIDS LIBRARY
18	LEARNING CENTRE
19	ADVENTURE ROCK CLIMBING
20	KIDS PLAYPEN
21	KIDS SOFT PLAY
22	BALL PIT
23	INTERACTIVE WALL GAME
24	ASSOCIATION ROOM
25	CO-WORKING SPACE
26	MEETING ROOM
27	JACCUZI
28	STEAM
29	IRONING/LAUNDRY
30	SERVANT DORMITORY
	TERRACE AMENITIES
31	TERRACE PARTY LAWN
32	SENSORY PLAY AREA
33	GOLF PUTTING
34	ROOFTOP VIEWING DECK
35	ROOFTOP LOUNGE SEATING

OUTDOOR AMENITIES	
36	ARRIVAL PLAZA
37	PARTY LAWN
38	AMPHITHEATRE
39	OUTDOOR MOVIE SCREENING
40	OUTDOOR FAN
41	MULTIPURPOSE SPORTS COURT
42	SPORTS VIEWING GALLERY
43	500M RACE TRACK
44	MINI SOCCER
45	MEDITATION LAWN
46	OUTDOOR GYM
47	CHILDREN'S PLAY AREA
48	JUNGLE GYM
49	TOT LOT
50	PLAY MOUND
51	JOGGING TRACK
52	SENIOR CITIZENS ZONE
53	BARBEQUE CORNER
54	HAMMOCK ZONE
55	NANNY'S PAVILION
56	ROCK CLIMBING WALL
57	SANDPIT
58	REFLEXOLOGY PATHWAY
59	PET PARK
60	LEISURE SEATING
61	FLOOR GAMES
62	DIY GARDEN
63	CAR CHARGING BAY
64	AIR FILLING STATION
65	CAR WASH BAY
66	BICYCLE RACKS
	SWIMMING POOL AMENITIES
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72	POOLSIDE LOUNGES



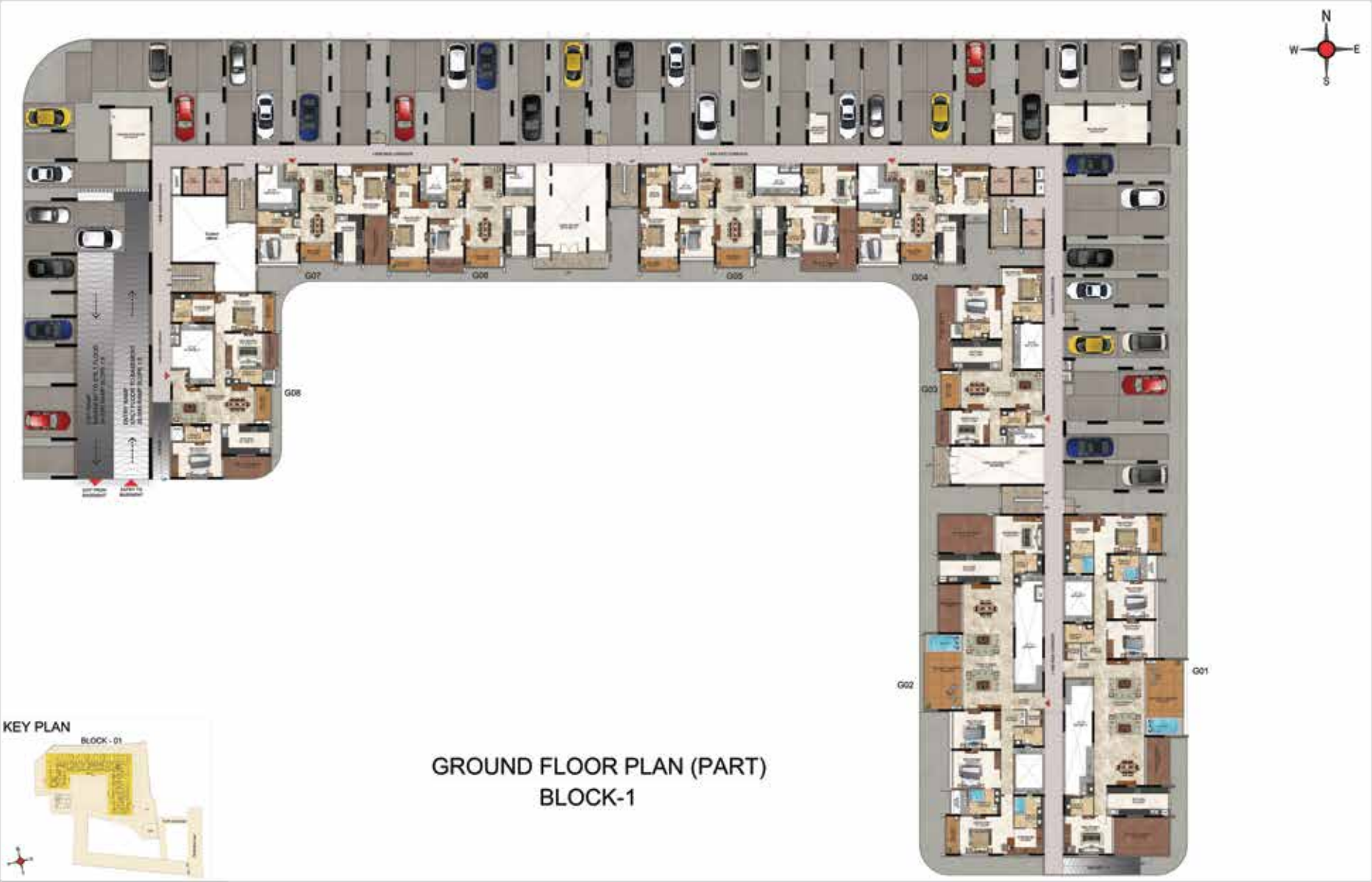
# BASEMENT PLAN

COMBINED BASEMENT FLOOR PLAN



CASAGRAND CLOUD 9	
SL NO	LIST OF AMENITIES
	INDOOR AMENITIES
29	IRONING/LAUNDRY
30	SERVANT DORMITORY

# GROUND FLOOR PLAN

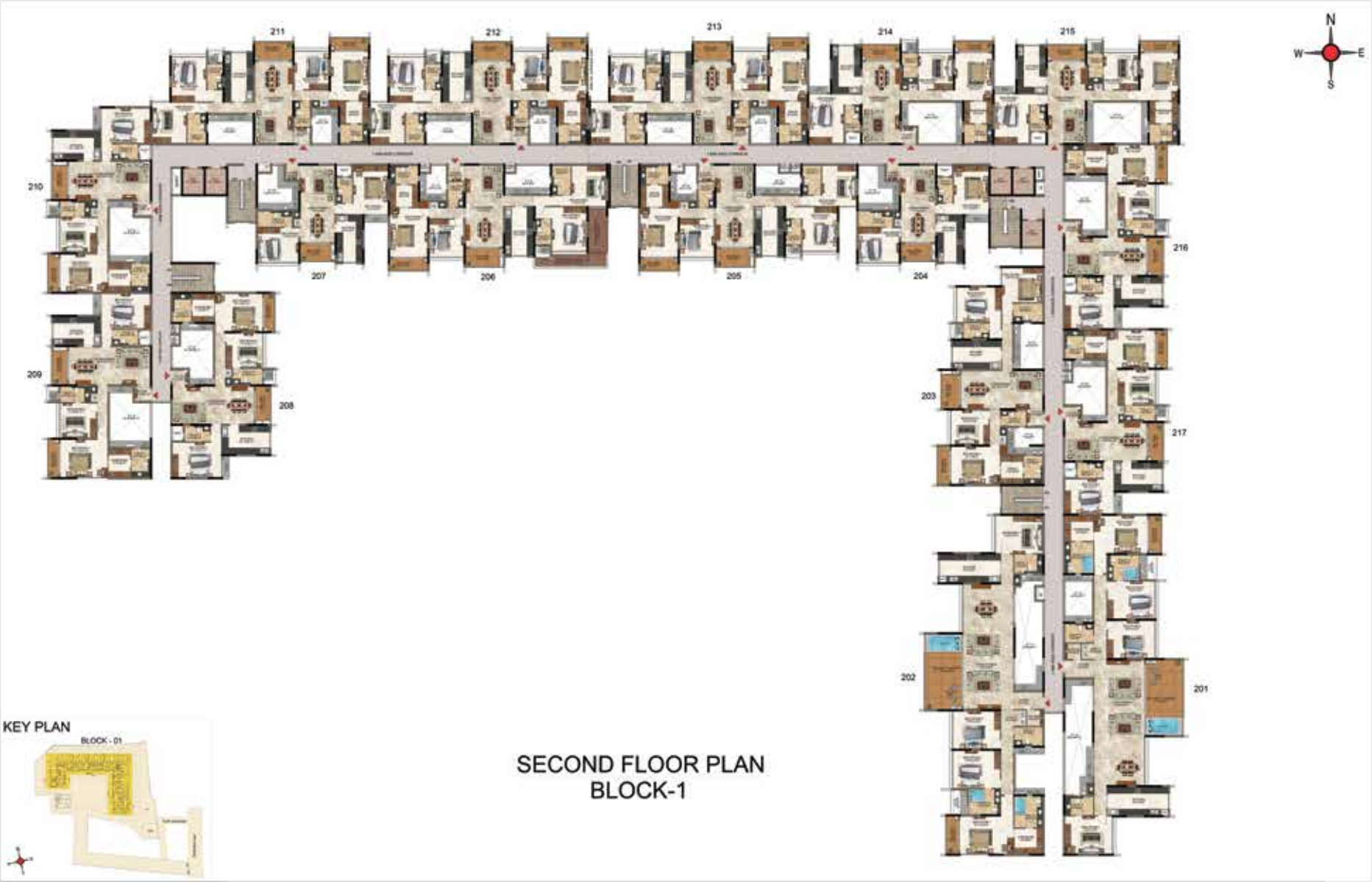


# FIRST FLOOR PLAN





# SECOND FLOOR PLAN



SECOND FLOOR PLAN  
BLOCK-1

# TYPICAL FLOOR PLAN



# TERRACE FLOOR PLAN



A glowing blue circle with a golden ribbon-like border on a dark blue background. The ribbon starts from the bottom left, loops around the circle, and ends at the top right. The text "UNIT PLANS (PINNACLE)" is centered within the circle.

UNIT PLANS  
(PINNACLE)

# 2BHK+2T PINNACLE

UNIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)
G04 TO 1904	2BHK+2T	890	55	945	1393
107 TO 1907	2BHK+2T	890	55	945	1385



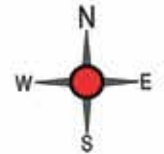
# 2BHK+2T PINNACLE

UNIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)	PRIVATE TERRACE AREA (SQFT)
G07	2BHK+2T	895	55	950	1367	116



# 2BHK+2T PINNACLE

UNIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)
106	2BHK+2T	1105	115	1220	1694



# 2BHK+2T PINNACLE

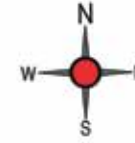
UNIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)	PRIVATE TERRACE AREA (SQFT)
G06	2BHK+2T	1112	115	1227	1694	47





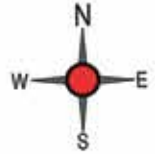
# 3BHK+3T PINNACLE

UNIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)
103	3BHK+3T	1248	68	1316	1849



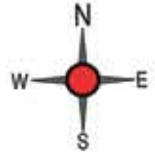
# 3BHK+3T PINNACLE

UNIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)
115 TO 1915	3BHK+3T	1284	100	1384	1960



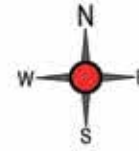
# 3BHK+3T PINNACLE

UNIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)
114 TO 1914	3BHK+3T	1310	100	1410	1986



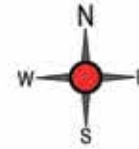
# 3BHK+3T PINNACLE

LIMIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)
116 TO 1916	3BHK+3T	1310	100	1410	1987
117 TO 1917	3BHK+3T	1310	100	1410	1980



# 3BHK+3T PINNACLE

UNIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)
110 TO 1910	3BHK+3T	1310	94	1404	1968



# 3BHK+3T PINNACLE

UNIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)
108 TO 1908	3BHK+3T	1310	96	1408	2000



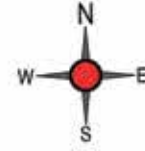
# 3BHK+3T PINNACLE

UNIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)
109 TO 1909	3BHK+3T	1310	84	1404	2002



# 3BHK+3T PINNACLE

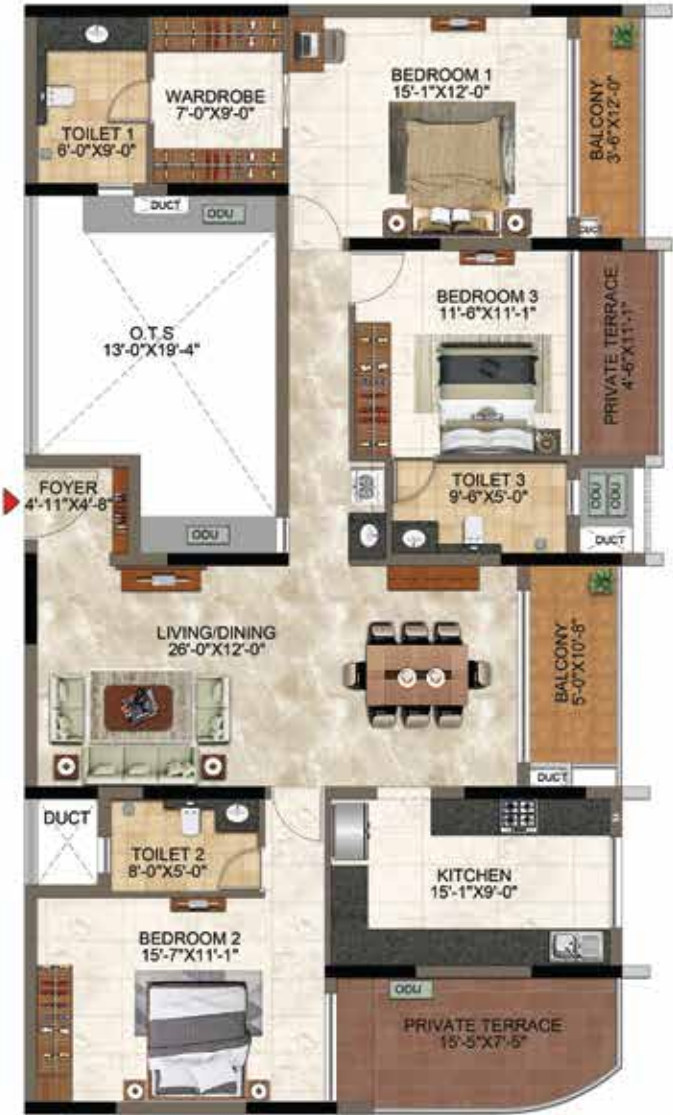
UNIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)	PRIVATE TERRACE AREA (SQFT)
G03	3BHK+3T	1263	68	1331	1849	190





# 3BHK+3T PINNACLE

LIMIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)	PRIVATE TERRACE AREA (SQFT)
G08	3BHK+3T	1321	98	1419	2883	157



# 4BHK +4T PINNACLE

UNIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)
111 TO 1911	4BHK+4T	1581	117	1698	2366
112 TO 1912	4BHK+4T	1581	117	1698	2371
113 TO 1913	4BHK+4T	1581	117	1698	2370



# 4BHK +4T PINNACLE

UNIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)
105 TO 1905	4BHK+4T	1581	115	1696	2369
306 TO 1906	4BHK+4T	1581	115	1696	2362



# 4BHK +4T PINNACLE



# 4BHK +4T PINNACLE

UNIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)	PRIVATE TERRACE AREA (SQFT)
206	4BHK+4T	1585	115	1700	2362	89



# 4BHK +4T PINNACLE

UNIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)
306 TO 1906	4BHK+4T	1581	115	1696	2362



# 4BHK +4T PINNACLE

UNIT NO.	PINNACLE (P) TYPE	CARPET AREA (SQFT)	BALCONY AREA (SQFT)	TOTAL CARPET AREA (SQFT)	SALEABLE AREA (SQFT)	PRIVATE TERRACE AREA (SQFT)
G05	4BHK+4T	1592	115	1707	2369	182



A glowing golden circular frame with decorative flourishes on a dark blue background. The frame is composed of a thick, glowing golden line that forms a circle, with two elegant, flowing flourishes extending from the right and bottom-left sides. The background is a deep, dark blue with a subtle gradient.

UNIT PLANS  
(FLOOR VILLAS)



# 4BHK +4T FLOOR VILLA



# 4BHK +4T FLOOR VILLA



# 4BHK +4T FLOOR VILLA



# 4BHK +4T FLOOR VILLA





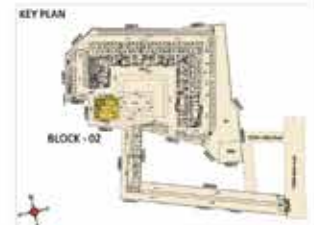
CLUBHOUSE  
PLANS

# GROUND FLOOR PLAN

## CLUB HOUSE GROUND FLOOR PLAN



CASAGRAND CLOUD 9	
SL NO	LIST OF AMENITIES
<b>INDOOR AMENITIES</b>	
1	DOUBLE HEIGHT LOUNGE
2	CONVENIENCE STORE
3	CAFE
15	DAY CARE CENTER

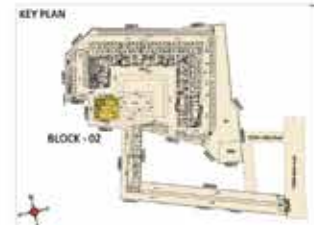


# FIRST FLOOR PLAN

## CLUB HOUSE FIRST FLOOR PLAN



CASAGRAND CLOUD 9	
SL NO	LIST OF AMENITIES
	<b>INDOOR AMENITIES</b>
6	AV ROOM
16	KIDS PLAY AREA
17	KIDS LIBRARY
18	LEARNING CENTRE
19	ADVENTURE ROCK CLIMBING
20	KIDS PLAYPEN
21	KIDS SOFT PLAY
22	BALL PIT
23	INTERACTIVE WALL GAME
24	ASSOCIATION ROOM



# SECOND FLOOR PLAN



## CLUB HOUSE SECOND FLOOR PLAN



CASAGRAND CLOUD 9	
SL NO	LIST OF AMENITIES
	INDOOR AMENITIES
4	PARTY HALL WITH PANTRY
5	DANCE FLOOR



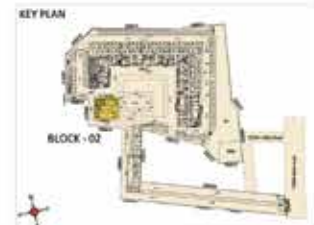


# THIRD FLOOR PLAN

## CLUB HOUSE THIRD FLOOR PLAN



CASAGRAND CLOUD 9	
SL NO	LIST OF AMENITIES
	INDOOR AMENITIES
7	INDOOR PLAY AREA
8	BOARD GAMES CORNER
9	GAMING ZONE
25	CO-WORKING SPACE
26	MEETING ROOM

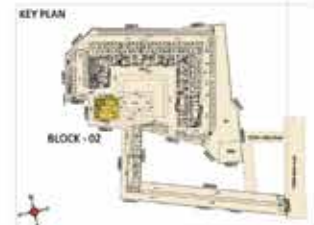


# FOURTH FLOOR PLAN

## CLUB HOUSE FOURTH FLOOR PLAN

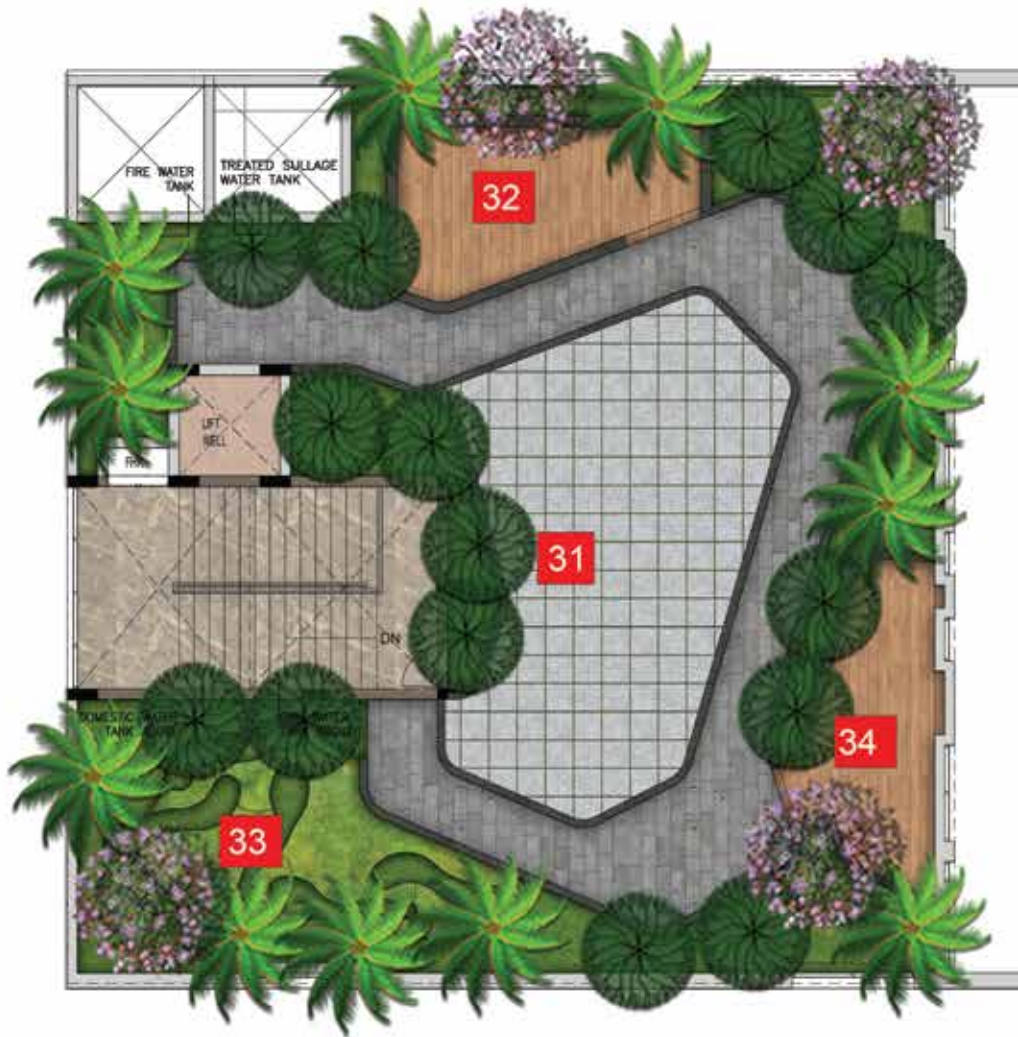


CASAGRAND CLOUD 9	
SL NO	LIST OF AMENITIES
	INDOOR AMENITIES
10	GYM
11	CROSSFIT CORNER
12	INTERACTIVE FLOOR WORKOUT
13	MEDITATION ROOM
14	YOGA CORNER
27	JACUZZI
28	STEAM

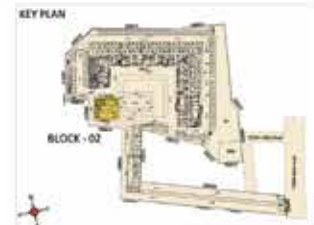


# TERRACE FLOOR PLAN

## CLUB HOUSE TERRACE FLOOR PLAN



CASAGRAND CLOUD 9	
SL NO	LIST OF AMENITIES
<b>TERRACE AMENITIES</b>	
31	TERRACE PARTY LAWN
32	SENSORY PLAY AREA
33	GOLF PUTTING
34	ROOFTOP VIEWING DECK



# CLUBHOUSE



A glowing golden ring with a decorative flourish on a dark blue background. The ring is composed of two concentric circles, with the space between them filled with a gradient of blue. A golden line enters from the bottom left, loops around the ring, and exits at the top right, ending in a small flourish.

SPECIFICATIONS

## STRUCTURE

Structural System	: RCC framed structure
Masonry	: 200mm for external walls & 100mm for internal walls
Floor- Floor height	: Will be maintained at 2950mm (incl. slab)
ATT	: Anti-termite treatment will be done

## WALL FINISH

Internal walls	: Finished with 2 coats of putty, 1 coat of primer & 2 coats of putty and emulsion
Ceiling	: Finished with 1 coat of primer, 2 coats of putty and OBD
Exterior wall	: Exterior faces of the building finished with 1 coat of primer and 2 coats of exterior emulsion
Bathroom	: Ceramic tile up to false ceiling height of size 300x600mm & above false ceiling will be finished with coat of primer
Kitchen	: Ceramic wall tile of size 600x600mm for a height of 600mm above the counter top finished level
Toilet ceiling	: Grid type false ceiling

## FLOOR FINISH WITH SKIRTING

Foyer, Living, Dining, Bedrooms, Kitchen	: Italian marble flooring
Bathroom	: Vitrified tiles of size 1200mm x 600mm
Bathroom	: Anti-skid tiles of size 300mm x 600mm
Balcony & Utility	: Anti-skid tiles of size 600mm x 600mm
Private Open Terrace (if applicable)	: Pressed tiles finish

## KITCHEN & DINING

Kitchen	: Platform will be finished with granite slab of 600mm wide at height of 800mm from the finished floor level
Electrical	: For chimney, Hob point & water purifier
Sink	: Single bowl SS sink with drainboard and pullout tap of Franke/ equivalent
Dining	: Granite counter with countertop wash basin

## BALCONY

Handrail : MS handrail as per architect's design intent

Cloth drying clamp : Cloth drying clamp in balcony

## BATHROOMS

CP & Sanitary fixture : American standard / Kohler or equivalent

Bathroom 1 : Wall mounted WC with cistern, health faucet, single lever diverter with shower column, granite counter with countertop wash basin & glass shower partition with pest free drain in shower area

Bathroom 1,2  
Floor Villa : Wall mounted WC with cistern, health faucet, single lever diverter with bathtub, shower panel, granite counter with two countertop wash basin, glass shower cubicle & pest free drain in shower area

Other Bathrooms : Wall mounted WC with cistern, health faucet, single lever diverter with rain shower and granite counter

Jacuzzi

Floor Villa

with countertop wash basin with pest free drain  
: Jacuzzi in balcony area

## COMMON FEATURES

Lift

: Automatic lift will be provided

Back - up

: 100% power backup for common amenities such as clubhouse, lifts, STP, WTP & selective common area lighting

Name board

: Apartment owner name will be provided in ground level

Lift fascia

: Granite / equivalent cladding

Lift lobby

: Granite flooring at ground level & tile flooring at other levels

Staircase floor

: Kota stone / Tile flooring

Staircase handrail

: MS handrail with enamel paint finish

Terrace floor

: Pressed tile flooring

## JOINERY

### A.DOORS

Main door : Wide and fancy main door of size 1200x2100mm of veneer finish with decorative side panel

: Ironmongeries like digital doorlock, tower bolts, door viewer, safety latch, magnetic door catcher, etc.

Bedroom doors : Good quality door with double side laminated shutter of size 900 X 2100mm

: Ironmongeries like Dorma or equivalent lock, door bush, tower bolt, etc

Bathroom doors : Good quality door with double side laminated shutter of size 750 x2100mm

: Ironmongeries like thumb turn lock of Dorma / equivalent without key, door bush

### B. WINDOWS

Windows : Aluminium powder coated windows with sliding shutter with plain glass

French doors : Aluminium powder coated frame and shutters with toughened glass

Ventilators : Aluminium powder coated frame of fixed / open-able shutter for ODU access (wherever applicable)

### ELECTRICAL POINTS

Power supply : 3 phase power supply connection

Safety device : MCB & ELCB (Earth leakage circuit breaker)

Switches & sockets : Modular box & modular switches of Schneider / Anchor Legrand or equivalent

Wires : Fire Retardant Low Smoke (FRLS) copper wire of good quality IS brand



TV	: Point in living & bed-1	Security	: Security booth will be provided at the entrance/exit with MyGate App
Data & USB provision	: Provision in living & bed-1	Compound wall	: Site perimeter fenced by compound wall with entry gates height as per Architect / Landscape design
Foot lamp	: Foot lamp in all the bedrooms	Landscape	: Suitable landscape at appropriate places in the project as per design intent
Split- air conditioner	: Points in living & bed-1 and provision in dining & all bedrooms	Driveway	: Convex mirror for safe turning in driveway in / out
Exhaust fan	: Point in all bathrooms	Internal Driveway	: Interlocking paver block/ equivalent flooring with demarcated driveway as per landscape's design intent
Geyser	: Point in all bathrooms		
Back-up	: 400W for 2BHK & 500W for 3BHK & 750W for 4BHK & 1KW for floor villa		

## OUTDOOR FEATURES

Water storage	: Centralized UG sump with WTP
Rain water harvesting	: Rain water harvesting system as per site requirement
STP	: Centralized Sewage Treatment Plant
Safety	: CCTV surveillance cameras will be provided all round the building at pivotal locations in ground level
Well defined walkway	: Walkway spaces well defined as per landscape's design intent



# PAYMENT SCHEDULE

Booking Advance	10%
Agreement Signing	40%
Commencement of Foundation	10%
Commencement of Ground Floor Roof	10%
Commencement of 2nd Floor Roof	7.5%
Commencement of 5th Floor Roof	7.5%
Commencement of 8th Floor Roof	2.5%
Commencement of 11th Floor Roof	2.5%
Commencement of 14th Floor Roof	2.5%
Commencement of 16th Floor Roof	2.5%
Commencement of 18th Floor Roof	2.5%
Handing over	2.5%
Total	100%



LOCATION MAP  
&  
ADVANTAGES

# AERIAL MAP VIEW





of Arts & Science Km

Cognizant 4.8 Km

BSR Mall 6.6 Km

NIFT 9.6 Km

Infosys 4.1 Km

SHOLINGANALLUR

Campus K IGCSE School 150 M

SHOLINGANALLUR METRO STATION

OMR

VGP 4.4 Km

ECR

ECR

# LOCATION MAP



\*Map not to scale

# LOCATION ADVANTAGES



## SCHOOLS & COLLEGES

K IGCSE School	150m
Narayana E-Techno School	1.1Km
Ellen Sharma Memorial School	700m
Gateway The Complete School	1.5Km
PSBB Millennium School	6.4Km
Babaji Vidyashram School	3.4Km
Sacred Heart Matric School	1.7Km
Velammal Vidyalaya	1.4Km
Parent Choice International Pre School	3.4Km
NPS International School	6.1Km
JS Global School	3.8Km
Ramana Vidyalaya School	1Km
Agni college of Technology	10.7Km
Sathyabama University	4.8Km
St Joseph's Institute of Technology	5.7Km
Jeppiaar Engineering College	5.7Km
KCG College of Technology	5Km



## HOSPITALS

Gleneagles Global Health city	6.1Km
Apollo Cradle	3.5Km
Swaram hospital & speciality Clinic	2.2Km
Dr Kamakshi Memorial Hospital	10.8Km
Apollo Speciality Hospital	8.8Km
Chettinad Healthcity Hospital	2.6Km



## DISTANCE FROM NEARBY VICINITIES

Thiruvanimiyur	11.3Km
Madhya Kailash	15.2Km
Perungudi	9.0Km
Thoraipakkam	6.1Km
Velachery	14.1Km
Elcot SEZ	5.4Km
SIPCOT	10.1Km



## DISTANCE FROM AIRPORT, RAILWAY STATION, BUS STAND & METRO

Chennai International Airport	20.1Km
Chennai Central Railway Station	26.2Km
Sholinganallur Bus Stop	1.5Km
Proposed Sholinganallur Metro	1Km.

A glowing golden ribbon forms a circular frame around the word "AWARDS". The ribbon starts from the bottom left, loops around the left and top, and ends with a small flourish on the right. The background is a dark, gradient blue.

AWARDS



- ★ **ET Now Casagrand Zenith - 2019**  
Innovative Project of the Year
- ★ **ET Now Casagrand Eternia II - 2019**  
Best Project in Non-Metro
- ★ **ET Now Casagrand Royale - 2019**  
Most Admired Upcoming Project of the Year
- ★ **11<sup>th</sup> Estate Annual Awards, powered by Franchise India - 2019**  
Casagrand Esmeralda  
Luxury Villa Project of the Year
- ★ **Times Business Awards 2020 - The Times of India (Brand)**  
Best Real Estate Company of Tamil Nadu
- ★ **Realty Conclave Excellence Awards - 2021 (South)**  
Casagrand Orlena  
Mid-Segment Project of the Year
- ★ **Realty Conclave Excellence Awards - 2021 (South)**  
Casagrand Boulevard  
Most Popular Project of the Year
- ★ **13<sup>th</sup> Estate Awards Franchise India and REMAX India - 2021**  
Casagrand Boulevard  
Best Mid-Segment Project of the Year
- ★ **The Economic Times - 2021 (Brand)**  
Best Brands Award
- ★ **The Economic Times Real Estate Award - 2022 (South)**  
Casagrand Amethyst  
Residential Project High-End (completed-metro)
- ★ **The Economic Times Real Estate Award - 2022 (South)**  
Casagrand Athens  
Residential Project High-End (ongoing-metro)
- ★ **Exchange4media - 2022 (Brand)**  
Pride of India Brands - The Best of South Awards
- ★ **News18 Tamil Nadu - 2022 (Brand)**  
Most Trusted Builder in South India
- ★ **Asia Property Awards - 2022 (Brand)**  
Best Lifestyle Developer
- ★ **14<sup>th</sup> Realty + Excellence Awards 2022, SOUTH**  
Casagrand Hazen  
Mid-Segment Project of the Year
- ★ **14<sup>th</sup> Realty + Excellence Awards 2022, SOUTH**  
Fastest Growing Realty Brand of the Year

